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Inspected By: Mid Hudson Home Inspectors, NYS License
#16000069081, David Gervais



Residential Inspection Report

Prepared For:

Joe Average

Property Address:

123 Everywhere St.

Anyplace , USA 55555

Inspection Date Mon, Nov 2 2015 at 11:00 AM

Table of Contents

General	5
Site	11
Exterior	21
Garage	31
Roofing	39
Foundation	45
Electrical	50
HVAC	54
Plumbing	59
Bathrooms	65
Kitchen	73
Laundry	79
Interior	82
Report Summary	91

Thank you for the opportunity to conduct your residential home inspection of the property listed above. We understand that the function of this report is to assist you in understanding the condition of the property and to assist you in making an informed purchase decision.

The report contains a review of components in the following basic categories: site, exterior, roofing, structure, electrical, HVAC, plumbing, and interior. Additional categories may or may not be included. The report is designed to be easy to read and comprehend however it is important to read the entire report to obtain a full understanding of the scope, limitations and exclusions of the inspection.

In addition to the checklist items of the report there are several comments which are meant to help you further understand certain conditions observed. These are easy to find by looking for their icons along the left side margin. Comments with the blue icon are primarily informational and comments with the orange icon are also displayed on the summary. Please read them all.

DEFINITION OF CONDITION TERMS

Satisfactory: At the time of inspection the component is functional without observed signs of a substantial defect.

Marginal: At the time of inspection the component is functioning but is estimated to be nearing end of useful life. Operational maintenance recommended. Replacement anticipated.

Repair or Replace: At the time of inspection the component does not function as intended or presents a Safety Hazard. Repair or replacement is recommended.

Further Evaluation: The component requires further technical or invasive evaluation by qualified professional tradesman or service technician to determine the nature of any potential defect, the corrective action and any associated cost.

Safety Hazard: At the time of inspection, the component being referenced is something that could cause a person or animal to be severely injured or killed. Immediate action should be taken to remedy the defect and in some cases prior to moving into the structure.

Money: The component(s) being referenced may exceed \$1500.00 to remedy if done by a qualified and licensed contractor.

General

Property Type:	Single Family
Stories:	Two
SF:	2500
Approximate Age:	12 Years
Age Based On:	Listing
Bedrooms/Baths:	3/2.5
Furnished:	Yes
Occupied:	Yes
Weather:	Sunny
Temperature:	Warm
Soil Condition:	Damp
Utilities On During Inspection:	Electric Service
People Present:	Client, Selling Agent



Comment 1:

Mid Hudson Home Inspectors provides a visual mold inspection as part of the overall home inspection and will report any substance that appears to be mold from readily accessible areas. The only true way to determine if mold is present is to have a certified mold company/specialist inspect and test for mold. Any mention of mold in this report should be considered a recommendation to inspect and test for mold.



Comment 2:

Numerous areas of the structure such as attics, basements, crawlspaces, walls, floors and other surfaces may have been inaccessible or obstructed during the inspection by furniture and/or stored items. Mid Hudson Home Inspectors makes every attempt to do the most thorough inspection while being non-intrusive, as mandated by State law.

(General continued)



Comment 3:

This report is not a guarantee or warranty as to the absence of wood destroying organisms, nor is it a guarantee that the inspector found all areas where wood destroying organisms dwell, or any damage that may exist. Wood destroying organisms may exist in concealed or inaccessible areas. This report is not a structural integrity report and there is no warranty, expressed or implied, included in this report.



Comment 4:

Mid Hudson Home Inspectors performs a level 1 fireplace inspection as part of the general home inspection. It is recommended that any single family home, multi-family home, condo or town home that has a fireplace or wood burning stove get a level 2 fireplace inspection by a licensed fireplace contractor/inspector prior to use. Do not use your fireplace until you have had it fully inspected. Mid Hudson Home Inspectors is not licensed or certified to do a full level 2 fireplace inspection nor is it part of the general home inspection services we provide or mandated by NY or CT state guidelines.



Comment 5:

Property disclaimer: This home inspection does not determine the boundaries of the property or whether appropriate permits for additions or improvements have been obtained and closed out with the local Building Department. Also, this report does not address title or zoning issues, easements, covenants, deed restrictions and the like. These issues should be addressed by your title search company and/or your Attorney. This report does not determine the value of the property or the comparative value to similar homes in or around the area. A "competitive market analysis" (CMA) can be obtained from your Realtor.

(General continued)



Comment 6:

Recommendation: After moving into the house, it is strongly recommend to have the locks changed or re-keyed if applicable. Over the years, previous owners may have distributed the keys to family and friends. A new set of locks would ensure privacy and security. If the house has remote garage door openers, we also recommend changing the access code(s) as well.



Comment 7:

Subpart 197 4. State code of ethics and regulations for home inspectors:

Section 197-5.16 Limitations and Exclusions

(A). Home inspectors are not required to observe any item that is concealed or not readily accessible to the home inspector. The home inspector is not required to move furniture, personal or stored items, with floor coverings, move attached wall or ceiling coverings or panels, or perform any test or procedure which could damage or destroy the item being evaluated.

(B). Home inspectors are not required to observe appliances, recreational facilities, alarm systems, intercoms, speaker systems, radio controlled devices, security devices and lawn irrigation systems.

(C). Home inspectors shall not be required to determine the presence or absence of any suspected hazardous substance including but not limited to, latent service and/or sub surface volatile organic compounds, PCB's, asbestos, urea formaldehyde insulation, toxins, carcinogens, diseases, wood destroying organisms, mold, hazardous plants, illicit drugs or drug making equipment, lead paint, noise or contaminants in soil, water, air quality, wetlands or any other environmental hazard.

(D). Except as otherwise necessary and required by this standards of practice, home inspectors are not required to use special instruments or testing devices, such as amp meters, pressure gauges, moisture meters, gas detectors and similar equipment.

(E). Home inspectors are not required to report on real property, geological,

(General continued)

environmental or hazardous-waste conditions, manufacturer recalls for conformance of proper manufacture installation of any component or system, or information contained in consumer protection bulletins. Home inspectors are not required to report upon past or present violations of code, ordinances or regulations.

(F). Home inspectors are not required to provide an inspection of any condominium common component or system, or to evaluate condominium reserve accounts.

(G). Home inspectors are not required to enter any residential building or area of a building that, in the opinion of the home inspector, is dangerous to the safety of the home inspector or others or that will result in damage to the property, it's systems or components.

(H). Home inspector shall not be required to enter any area or perform any procedure which, in the opinion of the home inspector, may damage the property or its components.

(I). Home inspectors shall not be required to observe any system or component that is not included in this standards of practice.

(J). Home inspections performed in accordance with these standards of practice are not technically exhaustive and are not required to identify concealed conditions, latent defects or consequential damages.

(K). Home inspectors are not required to determine:

1. Conditions of systems or components that are not readily accessible.
2. The remaining life expectancy of any system or component.
3. The strength, accuracy, effectiveness or efficiency of any system or component.
4. The causes of any condition or deficiency.
5. The methods, materials or costs of corrections.
6. The future condition of a system or component including, but not limited to, the failure of the system and/or components.
7. The suitability of the property for any specialized use.

(General continued)

8. The advisability of purchase of the property.
9. The presence of potentially hazardous plants or animals including, but not limited to, wood destroying organisms or diseases harmful to humans including molds or mold like substances.
10. The presence of any environmental hazard including, but not limited to, toxins, carcinogens, noise, and contaminants in soil, water and air.
11. The effectiveness of any system installed or method utilized to control or remove suspected hazardous substances.
12. Operating costs of systems or components.
13. Acoustical properties of any system or component.
14. Soil conditions related to geotechnical or hydrologic specialties.

(L). Home inspectors are not required to offer:

1. To perform work in any trade or profession other than home inspection.
2. Warranties or guarantees of any kind.

(M). Home inspectors are not required to operate:

1. Any system or component that is shut down or otherwise inoperable.
2. Any system or component that does not respond to normal operating controls and shall not be required to dismantle any system or component, except as explicitly required by these standards of practice.
3. Shut off valves or manual stop valves.
4. Any system or component that, in the opinion of the home inspector, is dangerous to the home inspector or other persons, or will result in damage to the residential building, it's systems or its components.

(N). Home inspectors are not required to observe:

1. Concealed spaces or components for underground items including, but not limited to, underground storage tanks or other underground indications of their presence, whether abandoned or otherwise.
2. Items that have not been installed.
3. Installed decorative items.
4. Items that are not entered in accordance with subdivision 15 of this section.

(General continued)

5. Detached structures other than garages and carports.

(O). Home inspectors shall not be required to describe or report on any system or component that is not included in these standards of practice and was not inspected.

(P). Home inspectors shall not be required to move personal property, furniture, equipment, plants, soil, snow, ice or debris.

(Q). These standards of practice are not Intended to limit home inspectors from excluding systems and components from the home inspection if requested by the client.



Comment 8:

A home inspection and resulting report is a snapshot in time. It conveys the home's condition only for the date and time of the inspection. Numerous changes can and may have occurred in the home between the inspection date and when you move in. I am always here to assist you with any questions or problems that may arise.



Comment 9:

If you're reading this report but did not hire me (Mid Hudson Home Inspectors) to perform the original inspection, please note that it is likely the conditions related to the home have probably changed, even if the report is fairly recent. Just as you cannot rely on an outdated weather report, you should not rely on an outdated inspection report. Minor problems noted may have become worse, recent events may have created new issues, and items may even have been corrected and improved. Don't rely on old information about one of the biggest purchases you'll ever make. Remember that the cost of the home inspection is insignificant compared to the value of the home. Protect your family and your investment and please call me directly at 845-926-6736 to discuss the report your reading for this property so that we can arrange for a re-inspection.

Site

The condition of the vegetation, grading, surface drainage and retaining walls that are likely to adversely affect the building is inspected visually as well as adjacent walkways, patios and driveways.

Site Grading:	Mostly Level Condition: Satisfactory
Vegetation:	Not Growing Against Structure Condition: Satisfactory
Driveway:	Gravel Condition: Satisfactory
Steps:	Wood Condition: Satisfactory
Decks:	Wood Condition: Satisfactory



Comment 10:

The property appears to be graded properly to allow rain water and melting snow to divert away from the structure when there is a normal amount of precipitation. Recommend monitoring areas around the foundation within 6' for ruts and depressions where areas of water can collect and pool.



Figure 10-1



Figure 10-2

(Site continued)



Figure 10-3



Figure 10-4



Figure 10-5



Figure 10-6



Comment 11:

Shrub and tree growth are far enough away from the siding of the house. Regular maintenance and pruning should be done on an ongoing basis to prevent contact in the future which could lead to wood rot and unwanted moisture contacting the siding of the house.

(Site continued)



Figure 11-1



Figure 11-2



Figure 11-3



Figure 11-4



Comment 12:

The gravel driveway is in good condition. No defects were noted and it is recommended to keep at least 2"-4" of gravel down at all times so ruts and depressions do not form.

(Site continued)



Figure 12-1



Figure 12-2



Figure 12-3



Figure 12-4



Comment 13:

The front steps are in good condition with no major defects. Salt and snow melting materials are the largest contributor to surface deterioration.

(Site continued)



Figure 13-1



Figure 13-2



Comment 14:

The deck is in good condition (except as noted below). As with any wood exposed to the weather, it is important to properly weather-seal it to prevent deterioration, cracking and rotting.



Figure 14-1



Figure 14-2

(Site continued)



Figure 14-3



Figure 14-4



Figure 14-5



Figure 14-6

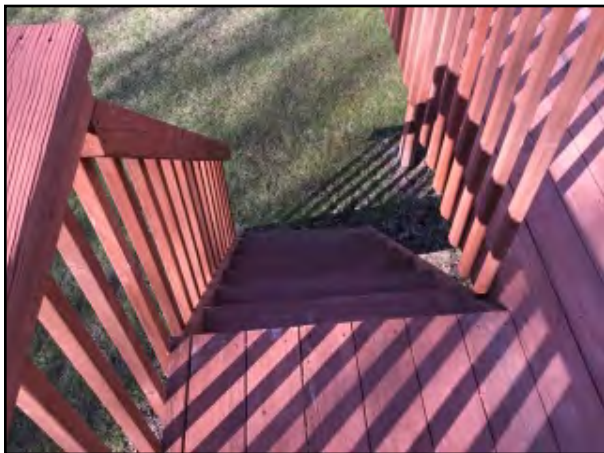


Figure 14-7



Figure 14-8

(Site continued)



Figure 14-9



Comment 15:

There are no bolts or joist hangers on the deck. Recommend hiring a qualified contractor to assess and repair.



Figure 15-1



Figure 15-2

(Site continued)



Figure 15-3



Comment 16:

The front farmers porch is in good condition with no loose or rotted boards. The hand and guard rails are proper with correct spacing between the balusters. Recommend regular power washing and painting or staining to preserve the wood.



Figure 16-1



Figure 16-2

(Site continued)



Figure 16-3



Figure 16-4



Figure 16-5



Comment 17:

There are no bolts or joist hangers on the front porch. Recommend hiring a qualified contractor to assess and repair.

(Site continued)



Figure 17-1



Figure 17-2

Exterior

The visible condition of exterior coverings, trim and entrances are inspected with respect to their effect on the condition of the building.

Exterior Covering:	Vinyl Siding Condition: Satisfactory
Exterior Trim Material:	Vinyl Condition: Satisfactory
Windows:	Wood, Vinyl Condition: Satisfactory
Front Entry Door:	Steel Condition: Satisfactory
Side Entry Door:	Steel Condition: Satisfactory
Sliding Glass Doors:	Glass Condition: Satisfactory



Comment 18:

The exterior siding of the house is maintenance free vinyl and in good condition with no defects noted. Recommend regular cleaning and power washing to keep the siding in good condition.



Figure 18-1



Figure 18-2

(Exterior continued)



Figure 18-3



Figure 18-4



Figure 18-5



Figure 18-6



Figure 18-7

(Exterior continued)



Comment 19:

The exterior trim of the house is maintenance free vinyl (except as noted below) and in good condition with no defects noted. Recommend regular cleaning and power washing to keep the siding in good condition.



Figure 19-1



Figure 19-2



Figure 19-3



Figure 19-4

(Exterior continued)



Comment 20:

The windows are all maintenance-free wood/vinyl windows. No major defects were noted on the exterior on the day of inspection.



Figure 20-1



Figure 20-2



Figure 20-3



Figure 20-4

(Exterior continued)



Figure 20-5



Figure 20-6



Figure 20-7



Figure 20-8



Figure 20-9



Figure 20-10

(Exterior continued)



Figure 20-11



Figure 20-12



Figure 20-13



Figure 20-14



Comment 21:

The front door is in good condition with no defects noted. Although not a defect, there was no combination screen and storm door and it is recommended to install one for energy efficiency purposes.

(Exterior continued)



Figure 21-1



Figure 21-2



Figure 21-3

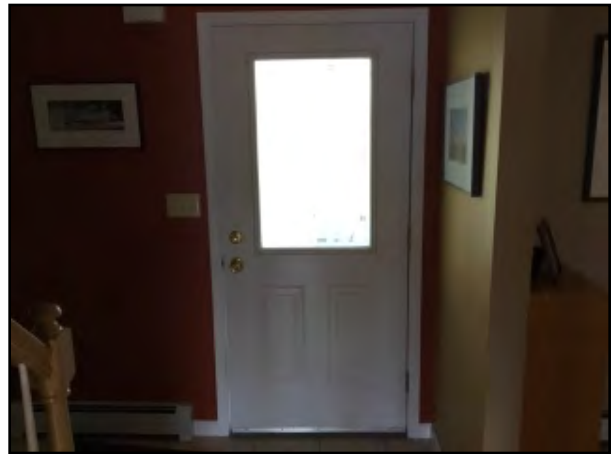


Figure 21-4

(Exterior continued)



Comment 22:

The side entry door is in good condition except as noted below.



Figure 22-1



Figure 22-2



Figure 22-3



Comment 23:

The side door jamb into the garage is starting to rot. Recommend hiring a qualified contractor to assess and repair any defects.

(Exterior continued)



Figure 23-1



Comment 24:

The sliding glass door is in good condition with no defects noted. The screen/storm door was operational and in working condition on the day of inspection.

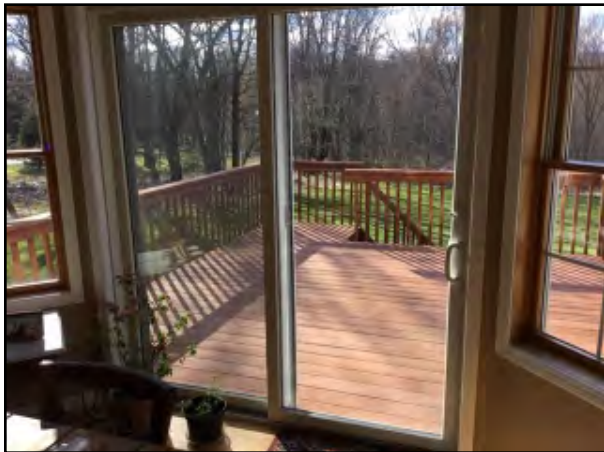


Figure 24-1



Figure 24-2

(Exterior continued)

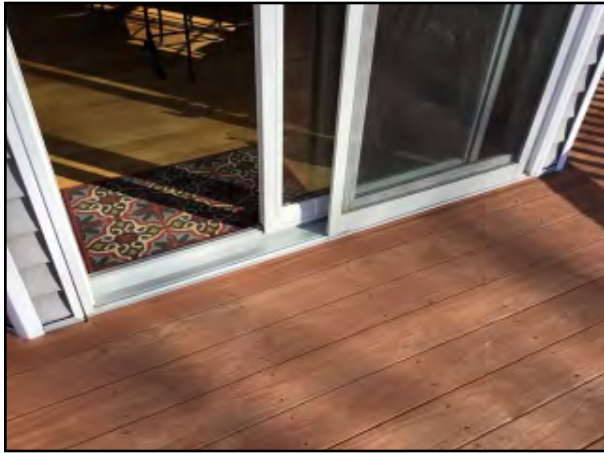


Figure 24-3



Figure 24-4



Comment 25:

The porch columns and railings are painted wood in good condition. Recommend inspecting and maintaining all exterior wood to keep it in satisfactory condition.



Figure 25-1



Figure 25-2

Garage

Garage Type:	Attached
Garage Size:	2 Car
Door Opener:	Chain Drive
	Condition: Satisfactory

Exterior

Exterior Covering:	Vinyl
	Condition: Satisfactory
Fascias & Soffits:	Vinyl, Aluminum
	Condition: Satisfactory
Exterior Trim Material:	Vinyl
	Condition: Satisfactory



Comment 26:

The exterior siding and trim of the garage is maintenance free vinyl and in good condition with no defects noted. Recommend regular cleaning and power washing to keep the siding in good condition.



Figure 26-1



Figure 26-2

(Exterior continued)



Figure 26-3



Figure 26-4



Comment 27:

The exterior fascias and soffits of the garage are maintenance free aluminum and vinyl in good condition with no major defects noted.



Figure 27-1



Figure 27-2

(Exterior continued)



Figure 27-3



Figure 27-4

Roofing

Inspection Method:

From Ground With Binoculars

Roofing Material:

Architectural

Condition: Satisfactory

Approximate Roof Age:

12 Years

Ventilation Present:

Roof, Soffit, Door/Windows

Condition: Satisfactory

Gutters & Downspouts:

Metal

Condition: Satisfactory



Comment 28:

The garage roof is comprised of architectural asphalt shingles with no major defects noted. The roof is 12 years old and is rated for a 35 year life expectancy. Venting was proper with gable vents and doors/windows and no signs of moisture or water penetration were noted at the ceiling.

(Roofing continued)



Figure 28-1



Figure 28-2



Comment 29:

The gutters are aluminum and appear to be working properly to divert rain water away from the garage as there are no signs of excess moisture in the interior of the garage being caused by improper gutters. Recommend keeping gutters free and clear of debris and leaves.



Figure 29-1



Figure 29-2

(Roofing continued)



Figure 29-3



Figure 29-4

Structure

Wall Structure:	Wood Framed, Sheet Rock Condition: Satisfactory
Ceiling Structure:	Wood Framed, Sheet Rock Condition: Satisfactory
Roof Structure:	Wood Framed Condition: Satisfactory
Roof Sheathing:	Plywood Condition: Satisfactory



Comment 30:

The garage is a traditional stick built building with 2x4/6 exterior walls and 2x6/8 roof rafters. The structure is in good condition with no apparent signs of moisture or water leaks at the roof. The concrete slab floor was in good condition with minor settling cracks and the garage doors are maintenance free aluminum with chain driven opener on one door only. The doors opened and closed properly and the auto reverse worked properly .

The walls and ceiling were sheet rocked/concrete for fire safety purposes where necessary, and the door leading to the interior was fire rated and self closing. No major defects were noted on the day of inspection.

(Structure continued)



Figure 30-1



Figure 30-2



Figure 30-3



Figure 30-4



Figure 30-5

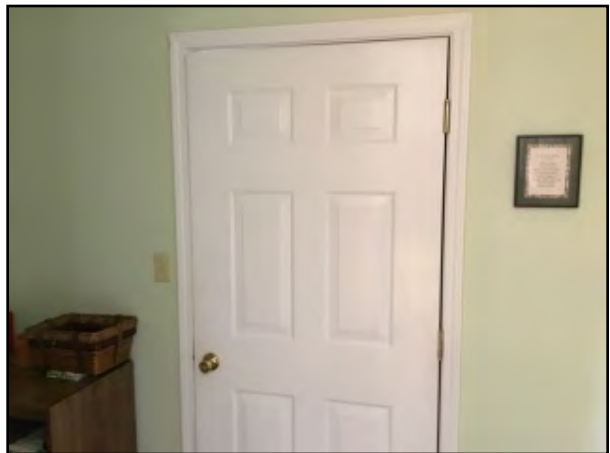


Figure 30-6

(Structure continued)



Figure 30-7



Figure 30-8



Figure 30-9



Figure 30-10



Figure 30-11



Figure 30-12

(Structure continued)



Figure 30-13



Comment 31:

There is no photo eye attached to the garage door opener. As this is a safety issue we recommend hiring a qualified contractor to assess and repair any defects .



Figure 31-1



Figure 31-2

Roofing

The visible condition of the roof covering, flashings, skylights, chimneys and roof penetrations are inspected. The purpose of the inspection is to determine general condition, NOT to determine life expectancy.

Inspection Method:	From Ground with Binoculars
Roof Design:	Gable
Roof Covering:	Architectural
	Condition: Satisfactory
Approximate Roof Age:	12 Years
Ventilation Present:	Gable Ends, Ridge Vents
	Condition: Satisfactory
Vent Stacks:	Plastic
	Condition: Satisfactory
Chimney :	Wood Frame
	Condition: Satisfactory
Flashings:	Metal
	Condition: Satisfactory
Soffit and Fascia:	Aluminum, Vinyl
	Condition: Satisfactory
Gutters & Downspouts:	Metal
	Condition: Satisfactory



Comment 32:

The roof is comprised of architectural asphalt shingles and is approximately 12 years old. These type shingles are rated for a 30 to 35 year life expectancy depending on weather conditions, climate and other factors. Venting was proper with ridge and soffit vents, and the plumbing stacks were noted and at an adequate height above the roof line.

(Roofing continued)



Figure 32-1



Figure 32-2



Figure 32-3



Figure 32-4



Figure 32-5



Figure 32-6

(Roofing continued)



Figure 32-7



Figure 32-8



Comment 33:

The chimney is wood framed and in good condition. There is a proper spark arrestor and rain cap on the top of the chimney and no major defects were noted.



Figure 33-1



Figure 33-2

(Roofing continued)



Comment 34:

The fascias and soffits are comprised of maintenance-free vinyl and aluminum and are in adequate condition. It is important to immediately repair any soffit or fascia materials that may become loose or dislodged to prevent water and ice from getting behind these surfaces and causing damage to any wood products.



Figure 34-1



Figure 34-2



Figure 34-3



Figure 34-4

(Roofing continued)



Figure 34-5



Figure 34-6



Figure 34-7



Figure 34-8



Comment 35:

The gutters are aluminum and appear to be working properly to divert rain water away from the house as there are no signs of excess moisture in the basement/crawlspace being caused by improper gutters, and no gulleyes were present in the ground next to the foundation walls (see interior basement/crawlspace notes for further comments). Recommend keeping gutters free and clear of debris and leaves and that gutter extensions are at least 6' from the foundation. Also watch the areas where the gutters go to an underground drainage system (if applicable) for water backing up. If this occurs it is recommended to have the underground lines scoped and snaked if necessary.

(Roofing continued)



Figure 35-1



Figure 35-2



Figure 35-3



Figure 35-4

Foundation

The visible condition of the structural components is inspected. The determination of adequacy of structural components is beyond the scope of a home inspection.

Foundation Types:	Basement
Foundation Material:	Poured Concrete
	Condition: Satisfactory
Signs of Water Penetration:	None
	Condition: Satisfactory
Prior Waterproofing:	Footing drains
	Condition: Satisfactory
Floor Structure:	Concrete Slab
	Condition: Satisfactory
Wall Structure:	Full Masonry
	Condition: Satisfactory



Comment 36:

The interior of the basement appears to be in good condition as there are no active water marks or stains and the moisture content in the foundation walls are low as measured with a moisture meter. The framing and support of the house as seen from the basement are in good condition and to traditional building methods. No major defects were noted on the interior on the day of inspection.



Figure 36-1



Figure 36-2

(Foundation continued)



Figure 36-3



Figure 36-4



Figure 36-5



Figure 36-6



Figure 36-7



Figure 36-8

(Foundation continued)

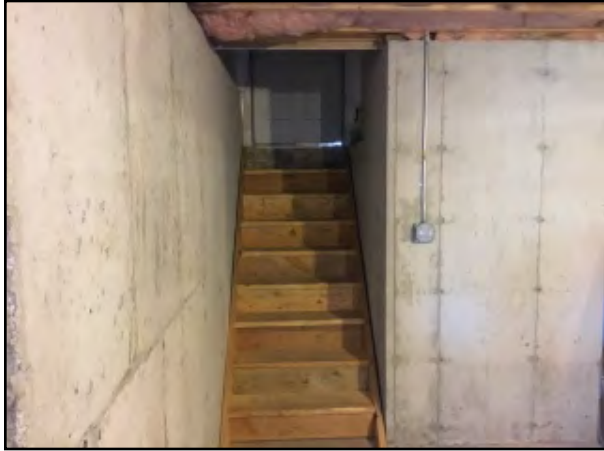


Figure 36-9



Figure 36-10



Figure 36-11



Figure 36-12



Figure 36-13



Figure 36-14

(Foundation continued)

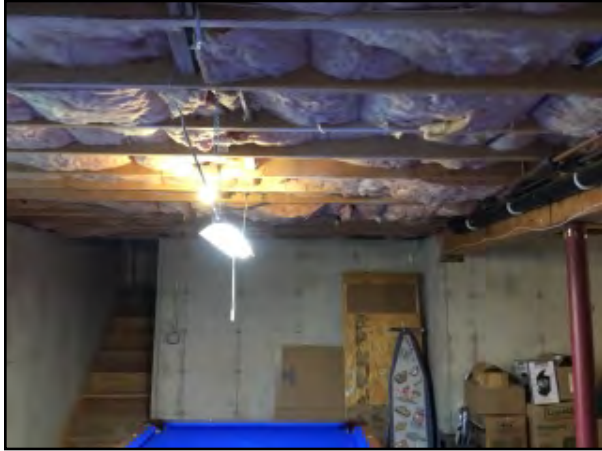


Figure 36-15



Figure 36-16

Attic

Attic Entry:	Bedroom Closet
Accessible Area:	Partial Flooring
Roof Framing Type:	Joist and Rafters
	Condition: Satisfactory
Roof Deck Material:	Plywood
	Condition: Satisfactory
Vent Risers:	Metal, PVC
	Condition: Satisfactory
Insulation:	Fiberglass Batts
	Condition: Satisfactory



Comment 37:

The attic was in good condition with no leaks or signs of moisture or mold. The attic was fully insulated and appeared to be properly ventilated with a combination of ridge and soffit vents.

(Attic continued)



Figure 37-1



Figure 37-2



Figure 37-3



Figure 37-4



Figure 37-5



Figure 37-6

Electrical

The inspector can not inspect hidden wiring or verify if the number of outlets is per the National Electric Code. A representative number of outlets, switches and fixtures are tested for operation.

Type of Service:	Overhead
Main Disconnect Location:	Service Panel
Service Panel Location:	Basement
Service Panel Manufacturer:	Murray
	Condition: Satisfactory
Service Line Material:	Aluminum
	Condition: Satisfactory
Service Voltage:	120/240
Service Amperage:	200 amps
Service Panel Ground:	Ground Rod
Branch Circuit Wiring:	Non-Metallic Shielded Copper, Metallic Shielded Copper
	Condition: Satisfactory
Overcurrent Protection:	Breakers
	Condition: Satisfactory
Smoke Detectors:	Hard Wired
	Condition: Repair or Replace



Comment 38:

The electrical service is overhead and to a meter on the side of the house. The electric panel was located in the basement and is 200 amp main service. The panel was in good condition with no defects noted and grounding was proper. There were no double taps or missing covers and there was additional room for expansion.

(Electrical continued)



Figure 38-1



Figure 38-2



Figure 38-3



Figure 38-4

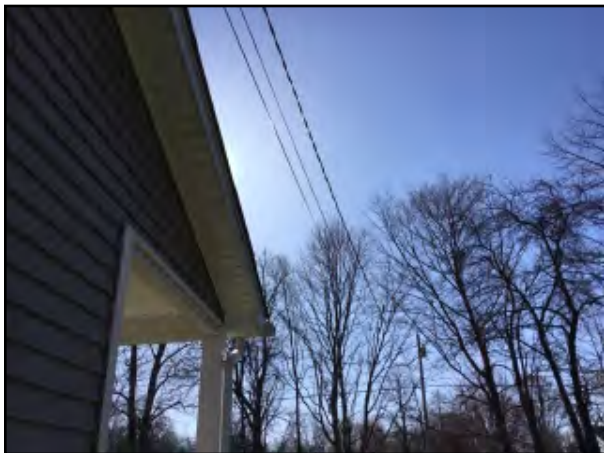


Figure 38-5



Figure 38-6

(Electrical continued)

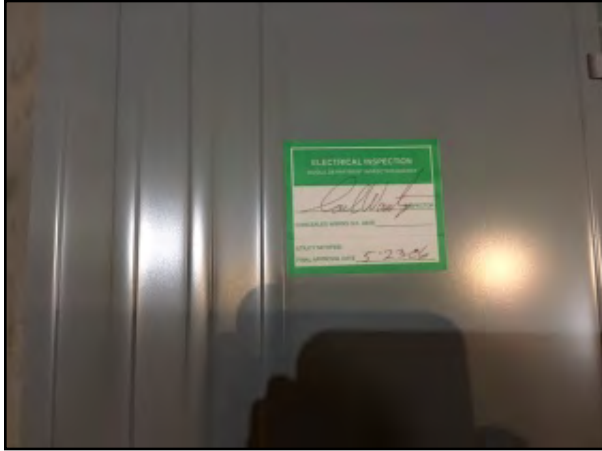


Figure 38-7



Figure 38-8

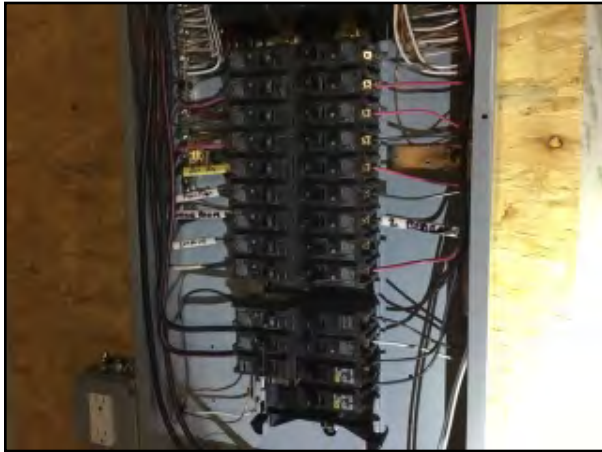


Figure 38-9



Figure 38-10



Figure 38-11



Figure 38-12

(Electrical continued)

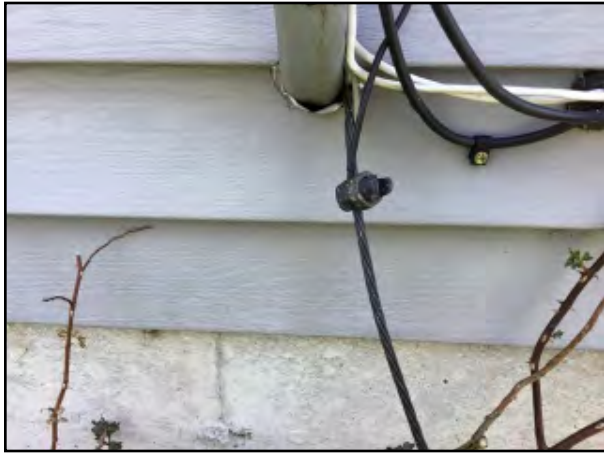


Figure 38-13



Figure 38-14

HVAC

HVAC System Type:

Not Present

Heating

The heating system is inspected visually and operated by normal controls to determine general condition NOT life expectancy. The capacity or adequacy of the heating system is beyond the scope of a home inspection. A licensed HVAC contractor should be consulted if in question.

Location:	Basement
Type of Equipment:	Boiler
	Condition: Satisfactory
Manufacturer:	Burnham
Heating Fuel:	Oil
	Condition: Satisfactory
Approximate Age:	Boiler: 12 Years / Tank: 12 Years
Filter Type:	Disposable
	Condition: Satisfactory
Type of Distribution:	Pipes
	Condition: Satisfactory



Comment 39:

The boiler is a Burnham oil fired unit and approximately 12 years old and in working condition. The unit appears to have been well maintained and serviced properly throughout the years as evidenced by the service tags. (Except as noted below)The system was tested on the day of inspection and fired properly as heat was delivered to all areas in the house. It is recommended to get annual servicing of the unit to keep it at peak operating efficiency.

(Heating continued)



Figure 39-1



Figure 39-2



Figure 39-3



Figure 39-4



Figure 39-5



Figure 39-6

(Heating continued)



Figure 39-7



Figure 39-8



Figure 39-9



Figure 39-10



Figure 39-11

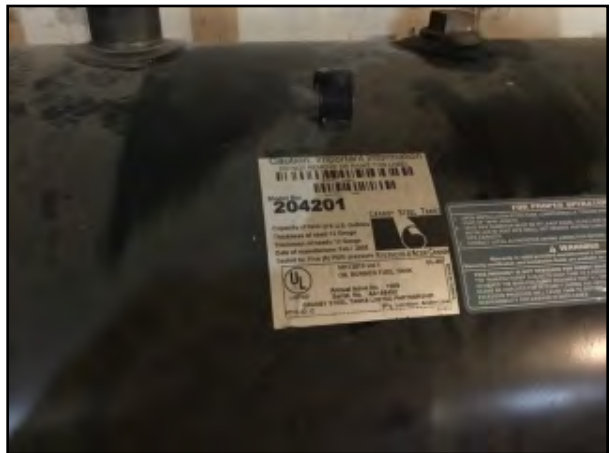


Figure 39-12

(Heating continued)



Figure 39-13



Figure 39-14



Figure 39-15



Figure 39-16



Comment 40:

The TPRV valve was leaking and corroded. Recommend hiring a qualified contractor to assess and repair.

(Heating continued)



Figure 40-1



Figure 40-2

Furnaces over 10 years old should be checked, cleaned and serviced yearly by a licensed contractor.

Plumbing

The plumbing system is inspected visually and by operating a representative number of fixtures and drains. Private water and waste systems are beyond the scope of a home inspection.

Water Service:	Well Sanitary Cap
	Condition: Satisfactory
Supply Pipe Material:	PVC
	Condition: Satisfactory
Location of Main Water Shutoff:	At Well Tank
Sewer System:	Septic System
Waste Pipe Material:	PVC, Cast Iron
	Condition: Satisfactory



Comment 41:

The plumbing system of the house consisted of a private well and septic system. The water was run through all fixtures in the home for 30 minutes and there were no leaks noted on the supply or drain sides and the well components were tested and operated as intended. The well pump cycled normally and psi was between 30-40 while cycling. The well tank is approximately 12 years old and no major defects were noted. There is an extensive water treatment system tied into the plumbing. Recommend speaking with the owner about operation and maintenance.



Figure 41-1



Figure 41-2

(Plumbing continued)



Figure 41-3



Figure 41-4



Figure 41-5



Figure 41-6



Figure 41-7



Figure 41-8

(Plumbing continued)



Figure 41-9



Figure 41-10



Figure 41-11



Figure 41-12



Figure 41-13



Figure 41-14

(Plumbing continued)



Figure 41-15



Figure 41-16



Comment 42:

The jet pump on the water system was corroded and leaking. Recommend hiring a qualified contractor to assess and repair any defects.



Figure 42-1



Figure 42-2

Water Heater

Manufacturer:	Superstor
Fuel:	Indirect
Capacity:	40 gal
Approximate Age:	12 Years
Temp & Pressure Relief Valve:	Present With Blow Off Leg
	Condition: Repair or Replace

(Water Heater continued)

Fuel Disconnect:

In Same Room



Comment 43:

The water heater is a 50 gallon indirect heated Superstor tank located in the basement which operated properly on the date of inspection. The tank showed no signs of rust or corrosion. Hot water was received at all sinks and tubs in the home.



Figure 43-1



Figure 43-2

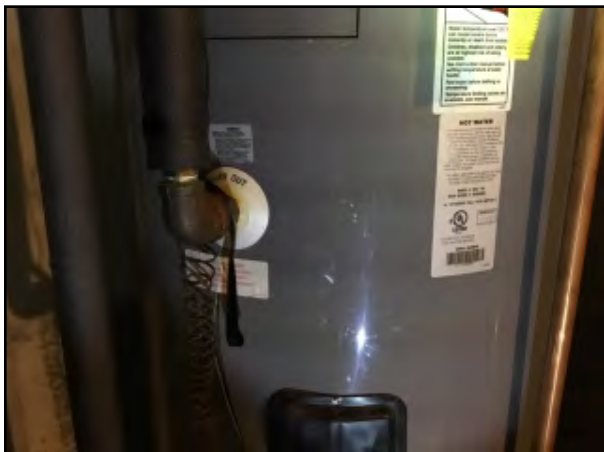


Figure 43-3



Figure 43-4

(Water Heater continued)



Figure 43-5



Comment 44:

The tprv valve on the water heater was leaking and should be replaced. Recommend hiring a qualified contractor to assess and repair.



Figure 44-1



Figure 44-2

Bathrooms

Bathroom #1

Location:	2nd Floor
Shower:	Stall
	Condition: Satisfactory
Sink(s):	Single Vanity
	Condition: Satisfactory
Toilet:	Standard Tank
	Condition: Satisfactory
Shower Walls:	Fiberglass
	Condition: Satisfactory
Floor:	Tile
	Condition: Satisfactory
Ventilation Type:	Ventilator, Window
	Condition: Satisfactory
GFCI Protection:	Outlets
	Condition: Satisfactory



Comment 45:

The master bath was in working condition with no leaks noted at the sinks, toilet, tub or shower. The GFCI outlets were tested and operated properly on the date of inspection. There was a window and exhaust fan for ventilation and no mold or mildew was noted on the walls or ceiling.

(Bathroom #1 continued)



Figure 45-1



Figure 45-2

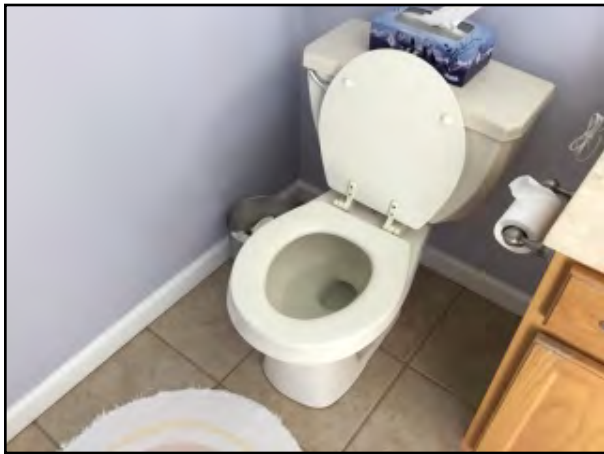


Figure 45-3



Figure 45-4

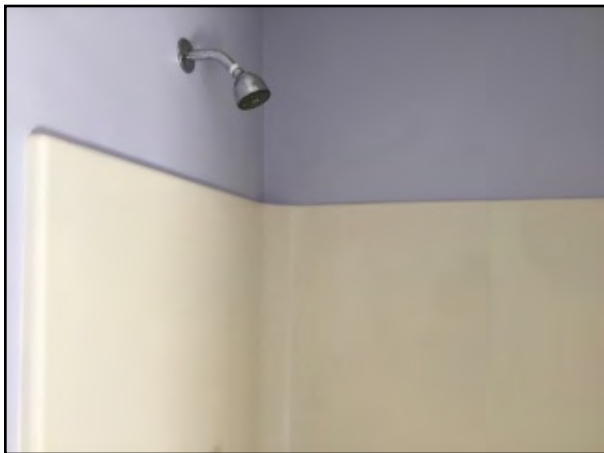


Figure 45-5

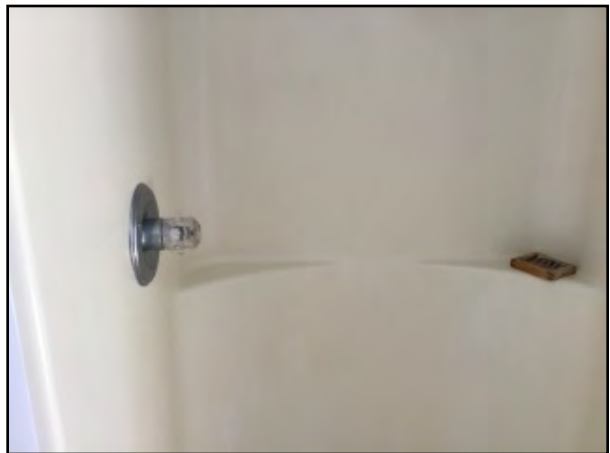


Figure 45-6

(Bathroom #1 continued)



Figure 45-7



Figure 45-8



Figure 45-9



Figure 45-10



Figure 45-11



Figure 45-12

(Bathroom #1 continued)



Figure 45-13

Bathroom #2

Location:	2nd Floor
Bath Tub:	Recessed
	Condition: Satisfactory
Shower:	In Tub
	Condition: Satisfactory
Sink(s):	Single Vanity
	Condition: Satisfactory
Toilet:	Standard Tank
	Condition: Satisfactory
Shower Walls:	Fiberglass
	Condition: Satisfactory
Floor:	Tile
	Condition: Satisfactory
Ventilation Type:	Ventilator, Window
	Condition: Satisfactory
GFCI Protection:	Outlets
	Condition: Satisfactory

(Bathroom #2 continued)



Comment 46:

The main bath was in working condition with no leaks noted at the sink, toilet or tub/shower. The GFCI outlet was tested and operated properly on the date of inspection. There was a window and exhaust fan for ventilation and no mold or mildew was noted on the walls or ceiling.

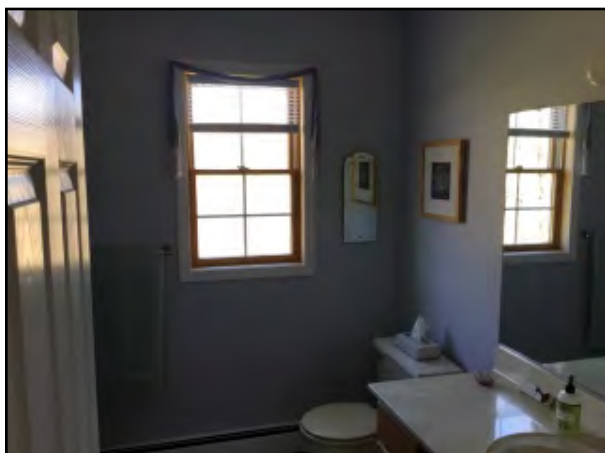


Figure 46-1

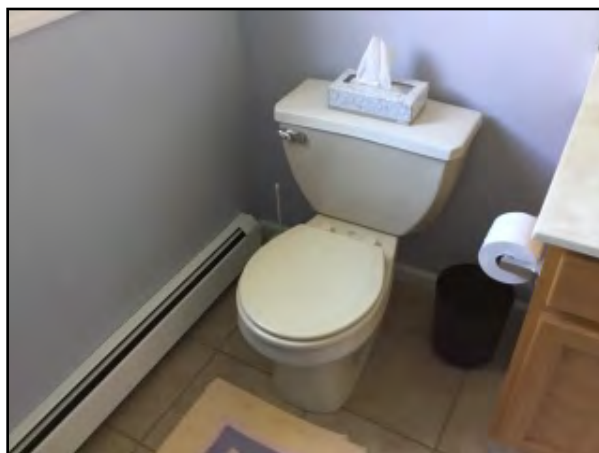


Figure 46-2



Figure 46-3

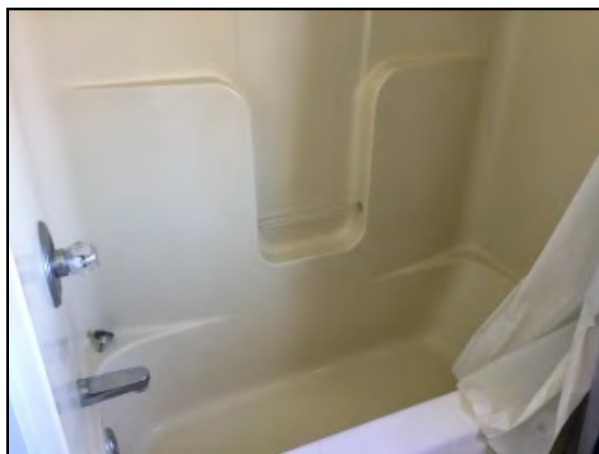


Figure 46-4

(Bathroom #2 continued)



Figure 46-5



Figure 46-6



Figure 46-7



Figure 46-8

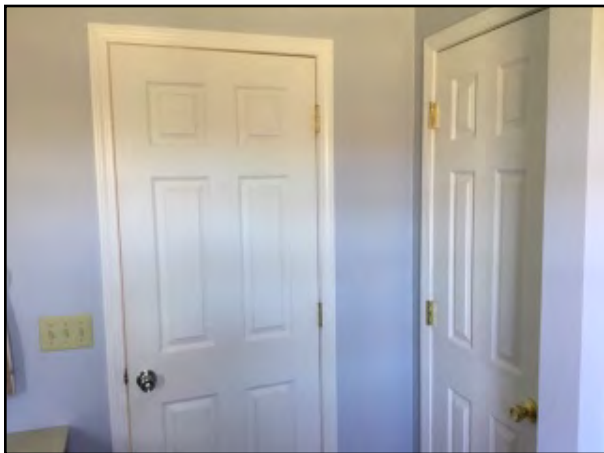


Figure 46-9



Figure 46-10

(Bathrooms continued)

1/2 Bathroom

Location:	1st Floor
Sink(s):	Single Vanity Condition: Satisfactory
Toilet:	Standard Tank Condition: Satisfactory
Floor:	Tile Condition: Satisfactory
Ventilation Type:	Ventilator Condition: Satisfactory
GFCI Protection:	Outlets Condition: Satisfactory



Comment 47:

The 1/2 bath was in working condition with no leaks noted at the sink or toilet. There was an exhaust fan for ventilation and no excess moisture or mold was noted. The GFCI was tested and operated properly.



Figure 47-1



Figure 47-2

(1/2 Bathroom continued)



Figure 47-3

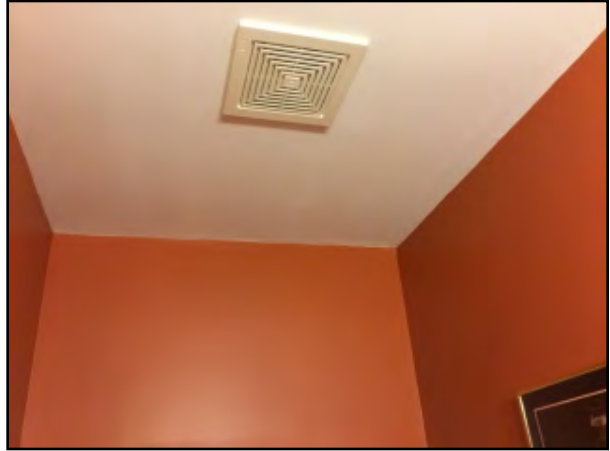


Figure 47-4



Figure 47-5

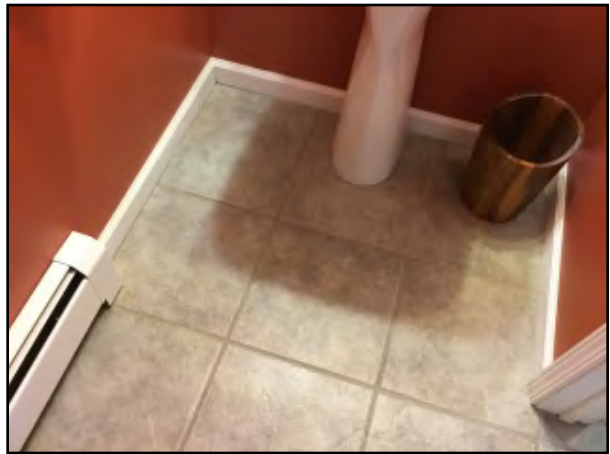


Figure 47-6

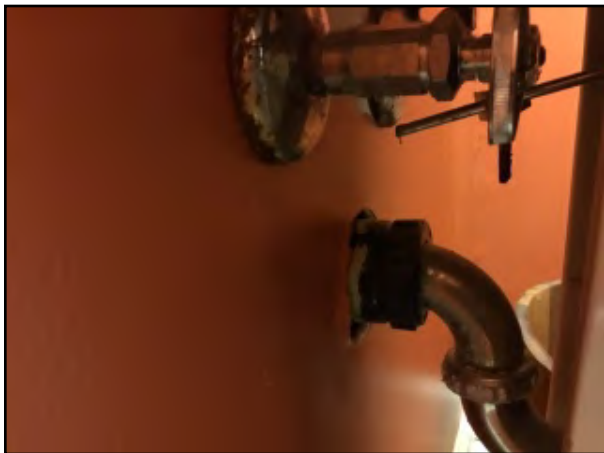


Figure 47-7

Kitchen

Cabinets:	Wood Condition: Satisfactory
Countertops:	Laminated Condition: Satisfactory
Sink:	Single Condition: Satisfactory



Comment 48:

The kitchen was in working condition with no major defects noted. There were no leaks at the sink or dishwasher, and all the appliances were tested and operated properly on the date of inspection. All the cabinets and countertops were operational and secure. The range was vented by the microwave and GFCI outlets were tested and operated properly on the date of inspection.



Figure 48-1



Figure 48-2

(Kitchen continued)



Figure 48-3



Figure 48-4



Figure 48-5



Figure 48-6



Figure 48-7



Figure 48-8

(Kitchen continued)



Figure 48-9



Figure 48-10



Figure 48-11



Figure 48-12



Figure 48-13



Figure 48-14

(Kitchen continued)

Appliances

This is a cursory check only of the specified appliances. The accuracy or operation of timers, temperature or power level controls is beyond the scope of this inspection.

Range:	General Electric Condition: Satisfactory
Refrigerator:	Kenmore Condition: Satisfactory
Dishwasher:	Kitchen Aid Condition: Satisfactory
Microwave:	General Electric Condition: Satisfactory



Comment 49:

All the appliances were tested and were in working condition. The stove was vented by a range hood exhaust and operated properly. The sink is a single unit in good condition with no leaks noted.



Figure 49-1



Figure 49-2

(Appliances continued)



Figure 49-3



Figure 49-4



Figure 49-5



Figure 49-6



Figure 49-7



Figure 49-8

(Appliances continued)



Figure 49-9



Figure 49-10

Laundry

Dryer Venting:	To Exterior Condition: Repair or Replace
GFCI Protection:	No Condition: Repair or Replace
Laundry Hook Ups:	Yes Condition: Satisfactory
Washer:	General Electric Condition: Satisfactory
Dryer:	General Electric Condition: Satisfactory



Comment 50:

The laundry area was in acceptable condition with no major defects noted. There were no leaks at the washing machine connections and there was an exhaust hose present to vent the dryer properly to the exterior.



Figure 50-1



Figure 50-2

(Laundry continued)



Figure 50-3



Figure 50-4



Comment 51:

The outlet in the laundry area was not a GFCI outlet and is a safety hazard as it is directly below/next to the water supply lines. Recommend hiring a licensed electrician to replace the existing outlet with a GFCI outlet as necessary.

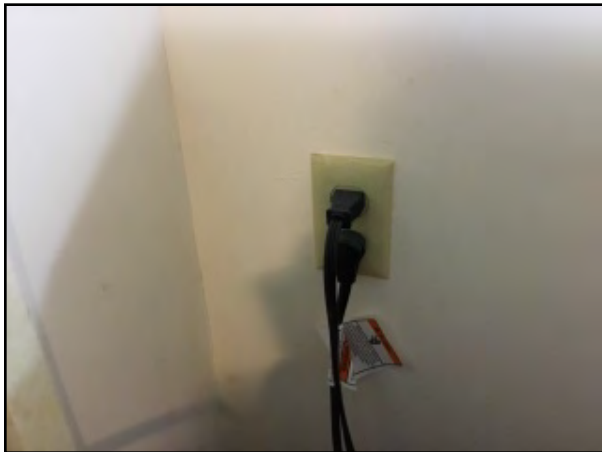


Figure 51-1

(Laundry continued)



Comment 52:

The exhaust hose for the dryer is a ribbed hose, not solid metal wall which is recommended for fire safety purposes. The current hose (ribbed wall) has a tendency to collect lint which is a fire hazard. Recommend hiring a qualified contractor to assess and repair as necessary.

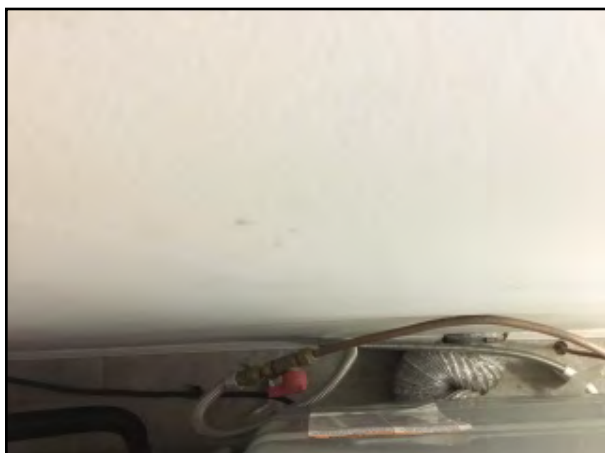


Figure 52-1

Interior

The interior inspection is limited to readily accessible areas that are not concealed by furnishings or stored items. A representative number of windows and doors.

Floors:	Tile, Carpet, Wood Condition: Marginal
Walls:	Drywall Condition: Satisfactory
Ceilings:	Drywall Condition: Satisfactory
Window Types:	Double Hung, Fixed Condition: Satisfactory
Window Materials:	Wood, Vinyl
Entry Door Types:	Hinged Condition: Satisfactory
Entry Door Materials:	Wood
Interior Door Materials:	Wood, Masonite
Electrical Outlets:	3 pronged - Grounded
Fireplace:	Wood Burning Condition: Satisfactory



Comment 53:

The interior was in overall good condition with no major defects noted. All floor surfaces were in good condition and the majority of the electrical outlets were three-pronged and grounded properly. There were no major cracks or holes in the walls or ceilings, and the floors were level with minimal bounce. Windows were tested randomly and operated properly.

(Interior continued)



Figure 53-1



Figure 53-2



Figure 53-3



Figure 53-4

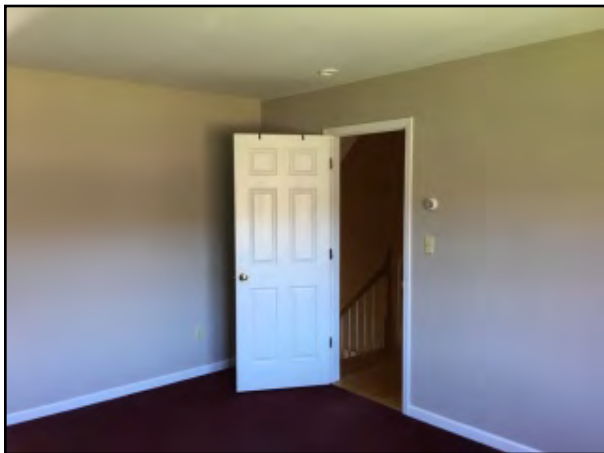


Figure 53-5



Figure 53-6

(Interior continued)



Figure 53-7



Figure 53-8

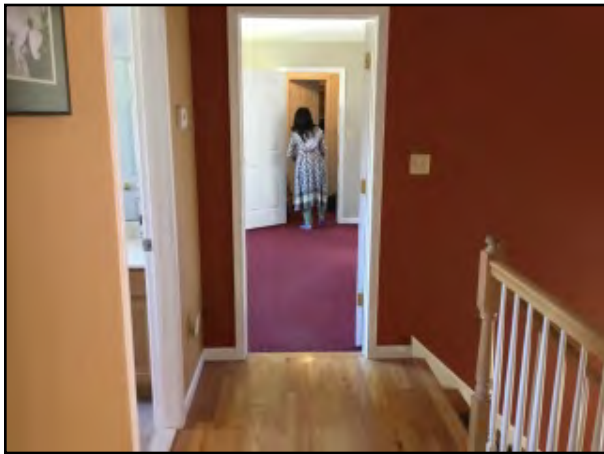


Figure 53-9



Figure 53-10

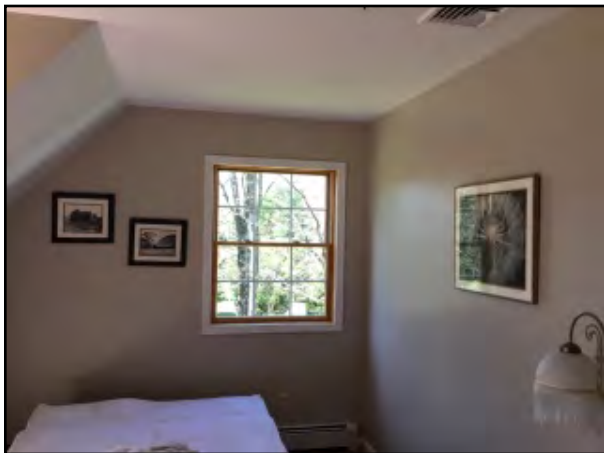


Figure 53-11

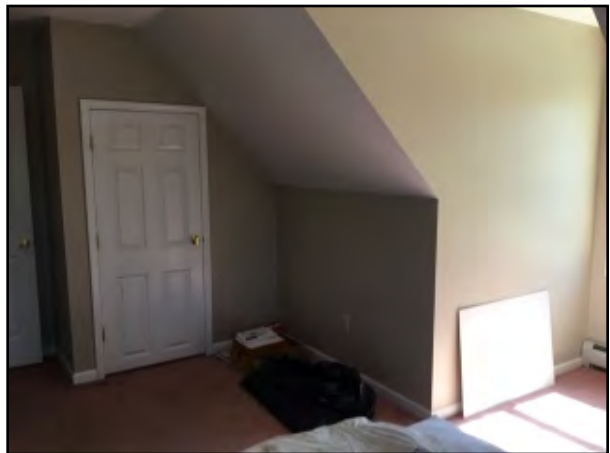


Figure 53-12

(Interior continued)



Figure 53-13



Figure 53-14



Figure 53-15

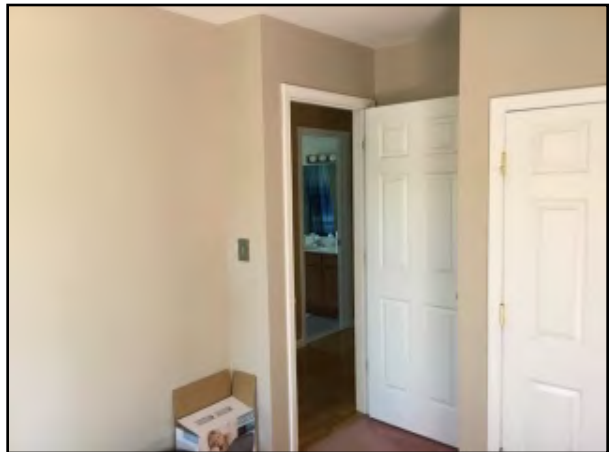


Figure 53-16



Figure 53-17

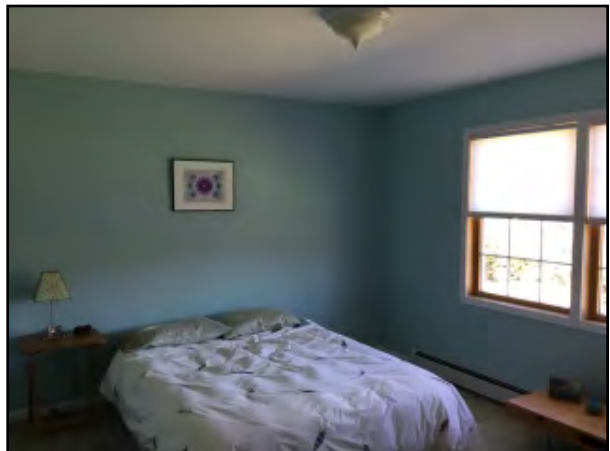


Figure 53-18

(Interior continued)



Figure 53-19

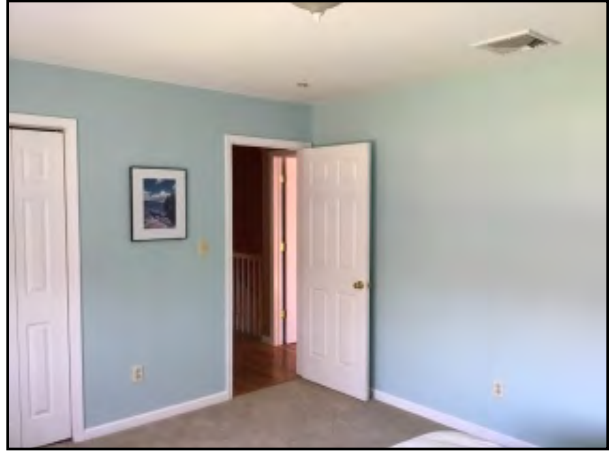


Figure 53-20

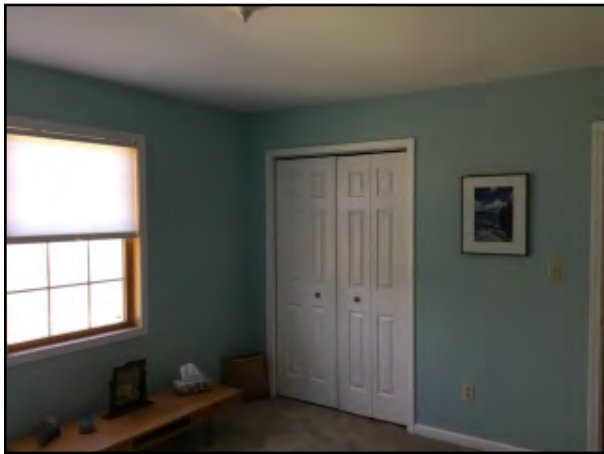


Figure 53-21



Figure 53-22



Figure 53-23

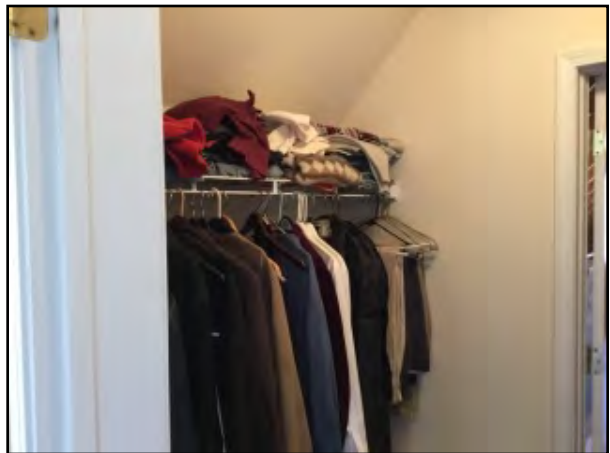


Figure 53-24

(Interior continued)



Figure 53-25



Figure 53-26



Figure 53-27

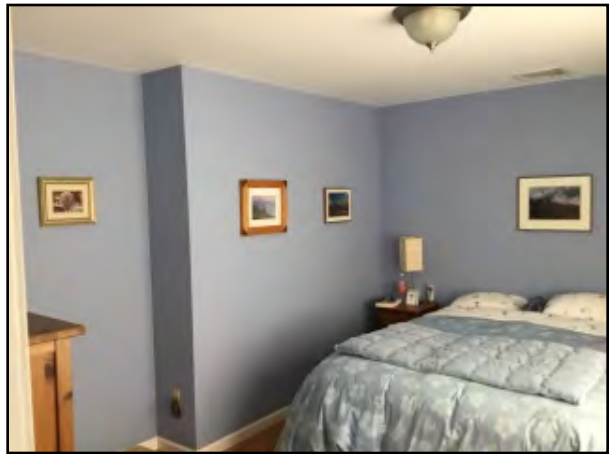


Figure 53-28

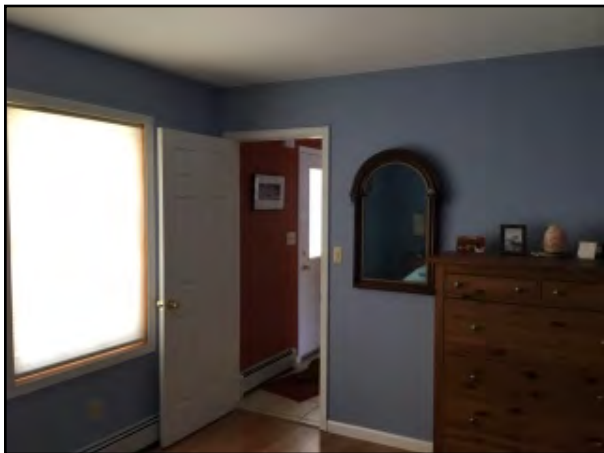


Figure 53-29



Figure 53-30

(Interior continued)



Figure 53-31

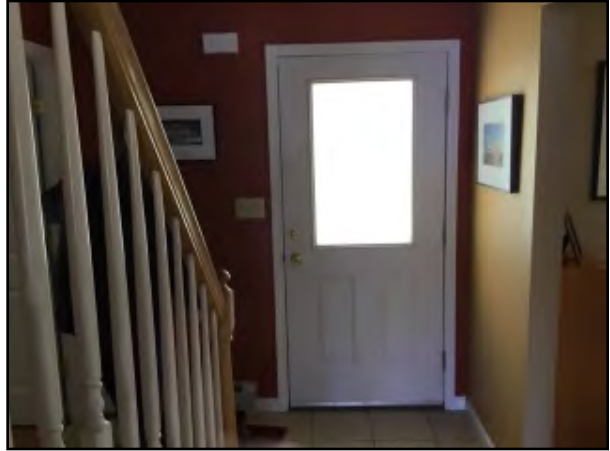


Figure 53-32



Figure 53-33

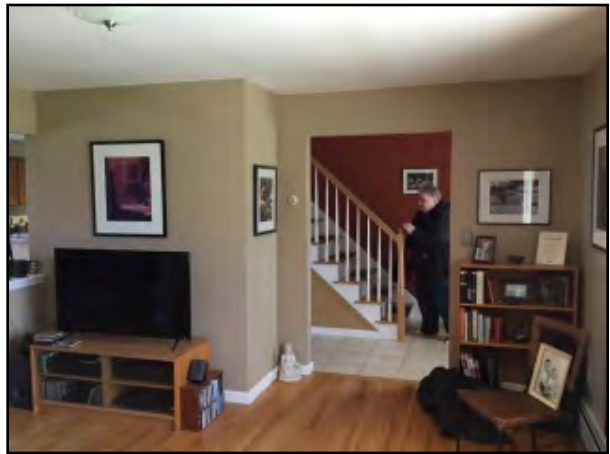


Figure 53-34

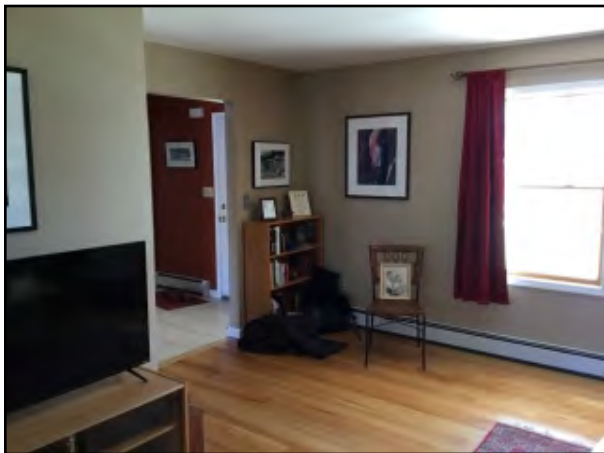


Figure 53-35



Figure 53-36

(Interior continued)



Figure 53-37



Figure 53-38



Figure 53-39



Figure 53-40



Comment 54:

The manufactured fireplace was in good condition with no defects noted. The damper controls were tested and operated properly on the day of inspection. It is ALWAYS recommended to have the flues inspected and cleaned prior to use.

(Interior continued)



Figure 54-1



Figure 54-2



Comment 55:

There are two bedrooms upstairs that have missing smoke alarms. As this is a safety issue it is recommended to replace them as soon as possible.



Figure 55-1



Figure 55-2

Report Summary

Site

1) There are no bolts or joist hangers on the deck. Recommend hiring a qualified contractor to assess and repair.



Figure 15-1



Figure 15-2



Figure 15-3

2) There are no bolts or joist hangers on the front porch. Recommend hiring a qualified contractor to assess and repair.

(Report Summary continued)



Figure 17-1



Figure 17-2

Exterior

3) The side door jamb into the garage is starting to rot. Recommend hiring a qualified contractor to assess and repair any defects.



Figure 23-1

(Report Summary continued)

Garage: Structure

4) There is no photo eye attached to the garage door opener. As this is a safety issue we recommend hiring a qualified contractor to assess and repair any defects .



Figure 31-1



Figure 31-2

HVAC: Heating

5) The TPRV valve was leaking and corroded. Recommend hiring a qualified contractor to assess and repair.



Figure 40-1



Figure 40-2

(Report Summary continued)

Plumbing

6) The jet pump on the water system was corroded and leaking. Recommend hiring a qualified contractor to assess and repair any defects.



Figure 42-1



Figure 42-2

Plumbing: Water Heater

7) The tprv valve on the water heater was leaking and should be replaced. Recommend hiring a qualified contractor to assess and repair.



Figure 44-1



Figure 44-2

(Report Summary continued)

Laundry

8) The outlet in the laundry area was not a GFCI outlet and is a safety hazard as it is directly below/next to the water supply lines. Recommend hiring a licensed electrician to replace the existing outlet with a GFCI outlet as necessary.

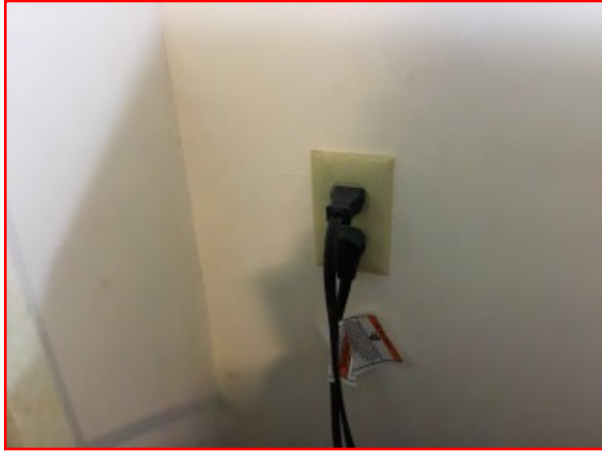


Figure 51-1

9) The exhaust hose for the dryer is a ribbed hose, not solid metal wall which is recommended for fire safety purposes. The current hose (ribbed wall) has a tendency to collect lint which is a fire hazard. Recommend hiring a qualified contractor to assess and repair as necessary.

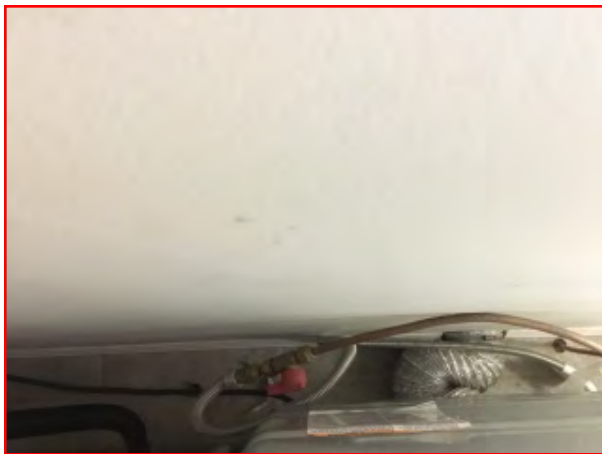


Figure 52-1

(Report Summary continued)

Interior

10) There are two bedrooms upstairs that have missing smoke alarms. As this is a safety issue it is recommended to replace them as soon as possible.



Figure 55-1



Figure 55-2

123 Everywhere St., Anyplace , USA 55555

Mid Hudson Home Inspectors , 23 Lake Road Wallkill,NY 12589